

# EV CHARGER LOCATION PLAN

for

## Palomar Properties Harbour Cay Apartments 12001 S Belcher Rd, Largo, FL 33773

### DESIGN CRITERIA

#### I. DESIGN CRITERIA

OCCUPANCY GROUP  
OCCUPANCY USE  
- PREVIOUS USE  
- PROPOSED USE  
TYPE OF CONSTRUCTION  
CONSTRUCTION PHASE  
STORIES  
PROTECTION  
FLOOD ZONE

GROUP "B"  
BUSINESS  
MULTIFAMILY  
MULTIFAMILY  
TYPE VB - LEVEL 2 ALTERATION  
SITE APPROVEMENT  
ONE (1)  
UNPROTECTED  
"X"

#### II. BASIS OF DESIGN:

ALL CONSTRUCTION IS DESIGNED AS FOLLOWS:  
FLORIDA BUILDING CODE 7TH EDITION 2020 AS FOLLOWED BELOW:  
FBC, ACCESSIBILITY -2020  
FBC, BUILDING-2020  
FBC, EXISTING BUILDING-2020  
FBC, NATIONAL ELECTRICAL CODE(NEC) 2017

#### III. DESIGN LOADS:

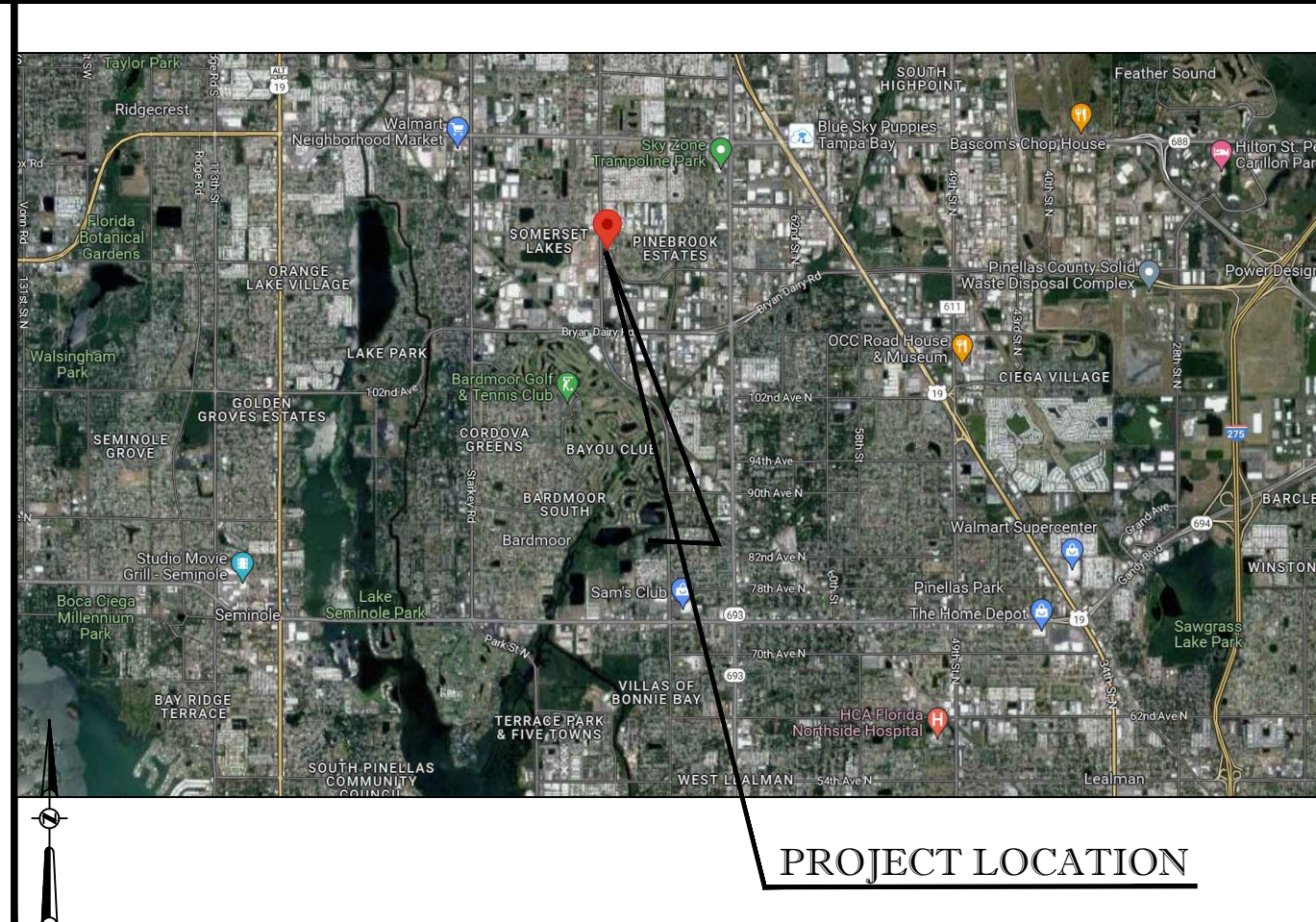
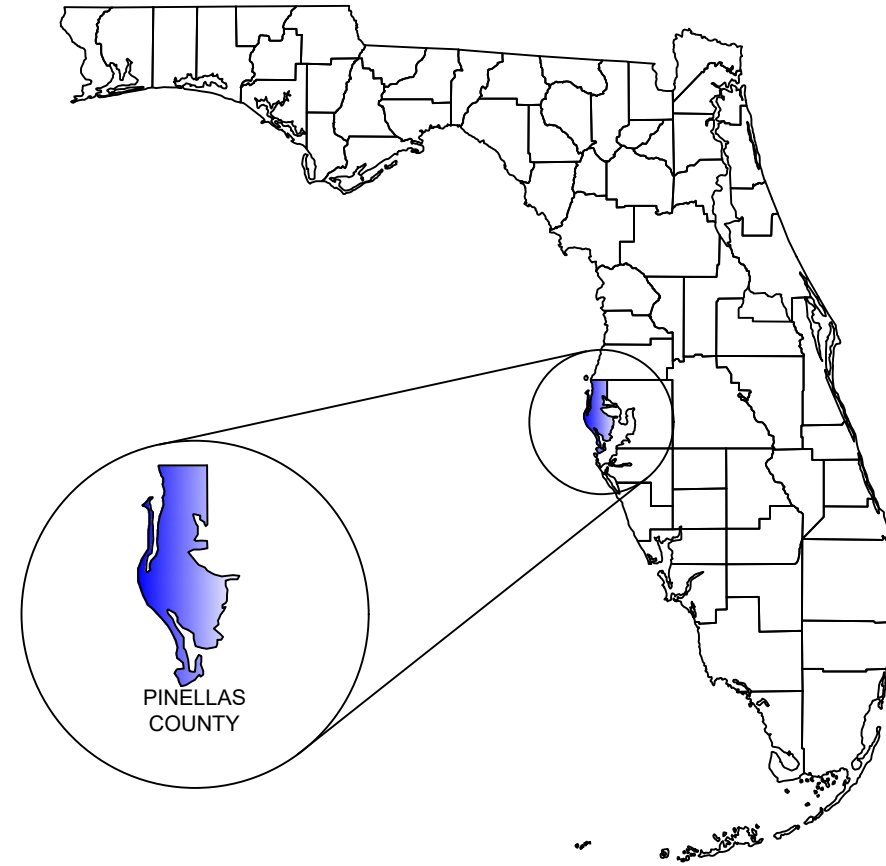
**DEAD LOADS**  
ROOF 15 PSF  
FLOOR 10 PSF

**LIVE LOADS**  
FLOOR 40 PSF  
ROOF 20 PSF  
PARTITIONS N/A PSF

**RAIN LOADS**  
RAIN LOAD 0 PSF  
RAIN INTENSITY 4 IN/HR

**WIND LOADS**  
ASCE 7-16, 150 MPH WIND (ULTIMATE), 109 MPH (NOMINAL)  
BUILDINGS OF ALL HEIGHTS ANALYTICAL METHOD  
RISK CATEGORY II  
EXPOSURE CATEGORY "C"  
ROOF SLOPE 4:12  
INTERNAL PRESSURE COEFFICIENTS:  
GCp1 = +/- .18, ENCLOSED STRUCTURE  
BASIC WIND PRESSURE: q= 36.2 P.S.F. (C&C)  
EDGE DISTANCE: a= 3 FT.

### VICINITY MAP



### SCOPE OF WORK

- SITE**
  - SELECTIVE DEMOLITION OF EXISTING CONC. SIDEWALK FOR NEW CONDUIT FOR EV CHARGERS.
  - SELECTIVE DEMOLITION OF EXISTING PAVEMENT ALONG FRONT OF EXISTING PARKING SPACES.
- BUILDING**
  - REMOVE EXISTING ASSOCIATED PANELS IN EXISTING MAIN BUILDING.
  - INSTALL SIX (6) NEW XEAL ENERGY LEVEL 2 EV CHARGERS IN EXISTING DESIGNATED PARKING SPACES PER FLOOR PLAN.
  - CONTRACTOR CAN SUBMIT ANY REQUEST FOR INFORMATION (RFI) VIA EMAIL AT SUPPORT@DMDGROUPLLC.COM FOR RESPONSES DURING BIDDING PROCESS AND LATER DURING CONSTRUCTION.
- MECHANICAL**
  - NO WORK PERFORMED FOR THIS PERMIT SUBMITTAL.
- ELECTRICAL**
  - REMOVE EXISTING 200-AMP SERVICE AND ASSOCIATED PANELS.
  - INSTALL NEW 400-AMP DUKE ENERGY APPROVED METER CAN WITH 400-AMP PANEL BY THE EXISTING TRASH CMPACTOR.
  - REWORK ELECTRICAL CIRCUITRY FOR 400-AMP.
  - INSTALL NEW 2-POLE 40 amp CIRCUIT BREAKERS FOR EACH NEW XEAL ENERGY EV CHARGER IN NEW PANELS IN EXISTING UTILITY ROOM.
  - DIRECTIONAL BORE FROM NEW 400-AMP PANEL AND METER CAN APPROXIMATELY 200' UNDER EXISTING PAVEMENT TO NEW EV LOCATION IN LANDSCAPE AREA.
  - PULL NEW WIRE FROM NEW 400-AMP TO NEW JUNCTION BOX IN EXISTING LANDSCAPE AREA.
  - TRENCH AND COMPACT IN LANDSCAPED AREA AS NECESSARY, LAY NEW CONDUCT FOR A TOTAL OF SIX (6) 40-AMP 240v XEAL ENERGY EV CHARGERS.
  - FORM AND PUR SIX (6) CONCRETE BASES FOR NEW XEAL ENERGY EV CHARGERS.
- PLUMBING**
  - NO WORK PERFORMED FOR THIS PERMIT SUBMITTAL.

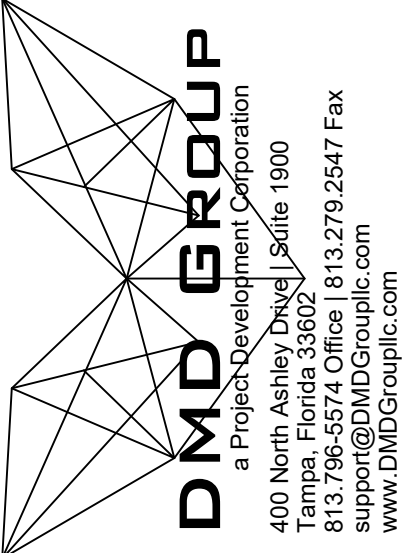
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NO.	REVISIONS	DATE
1.	Project Approval	03/24/2023
2.	Construction Plan Design Approval	04/04/2023
3.	Construction Plan Bid Set	04/10/2023
4.	Building Plan Permit Set	04/14/2023
5.		
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New EV Charging Station Project for:  
**Palomar Properties**  
**Harbour Cay Apartments**  
12001 S Belcher Road  
Largo, Florida 33773  
Pinellas County Building Department  
CONSTRUCTION DOCUMENTS

Job No: 2303125  
Project No: 18200107-EV-HBCY  
Date: 03/24/2023  
Drawn: MK  
Design: DRH

Cover Sheet

CS101



GENERAL NOTES:

1.

ALL WORK SHALL BE IN COMPLIANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL BUILDING CODES, REGULATIONS, ORDINANCES AND STANDARDS INCLUDING ADA AND OR OTHER HANDICAP ACCESSIBILITY CODES.
2.

GENERAL CONTRACTOR SHALL COORDINATE WITH THE OWNER'S VENDORS REGARDING CONSTRUCTION SCHEDULING AND SEQUENCING OF THE WORK.
3.

THE CONSTRUCTION NOTES AND DRAWINGS ARE SUPPLIED TO ILLUSTRATE THE DESIGN AND GENERAL TYPE OF CONSTRUCTION DESIRED AND ARE INTENDED TO IMPLY THE FINEST QUALITY OF CONSTRUCTION, MATERIAL AND WORKMANSHIP THROUGHOUT.
4.

THE DRAWINGS ARE NOT TO BE SCALED. FOR INFORMATION CONCERNING EXISTING CONDITIONS, ETC., VERIFICATION MUST BE DONE IN THE FIELD. LARGE SCALE DRAWINGS HAVE PRECEDENCE OVER SMALL SCALE DRAWINGS.
5.

PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION, CONTRACTOR SHALL VERIFY EXISTENCE AND LOCATION OF ALL EXISTING ABOVE AND BELOW GRADE, UTILITIES, INCLUDING SANITARY SEWER, STORM SEWER, WATER, GAS, ELECTRICAL, TELEPHONE, ETC. ANY DISCREPANCIES IN UTILITY LOCATIONS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE DMD GROUP CONSULTANTS, LLC. (DMD).
6.

GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL BUILDING DIMENSIONS PRIOR TO BEGINNING CONSTRUCTION AND SHALL IMMEDIATELY NOTIFY DMD ENGINEER OF RECORD OF ANY DISCREPANCIES..
7.

DESIGN OF SYSTEMS IS BASED ON INFORMATION FURNISHED BY OTHER WITH NO GUARANTEE AS TO ACCURACY. PRIOR TO BID DATE, CONTRACTORS SHALL EXAMINE THE SITE, CONTACT LOCAL UTILITIES TO VERIFY SERVICE REQUIREMENTS, AND SHALL INCLUDE IN THE BASE BID ALL COST FOR REQUIREMENTS, FEES, CONNECTIONS, AND METERING FOR COMPLETE AND TEMPORARY ELECTRICAL AND TELEPHONE SERVICES IN ACCORDANCE WITH GOVERNING CODES AND ORDINANCES.
8.

GENERAL CONTRACTOR TO INFORM DMD ENGINEER OF RECORD OF ANY VARIANCE OR DISCREPANCY AFFECTING EXISTING OR NEW CONSTRUCTION PRIOR TO PROCEEDING WITH WORK.
9.

CONTRACTOR SHALL PROVIDE ALL NECESSARY BLOCKING IN WALLS FOR SUPPORT OF ALL EQUIPMENT, SHELVING, ACCESSORIES, SIGNAGE, AND OTHER DEVICES REQUIRED.
10.

ALL PENETRATIONS SHALL RECEIVE CAULKING TO SEAL ANY TYPE OF ENERGY LOSS.
11.

THE CONTRACTOR SHALL VERIFY AND COORDINATE ALL APPLICABLE DIMENSIONS OF FIXTURES AND EQUIPMENT SUPPLIED AND/OR INSTALLED BY OTHERS.
12.

UPON COMPLETION OF PROJECT, GENERAL CONTRACTOR SHALL OBTAIN ALL FINAL INSPECTIONS AS REQUIRED BY LOCAL AUTHORITY HAVING JURISDICTION (AHJ) AND FURNISH OWNER WITH EVIDENCE OF ALL SUCH INSPECTIONS AND CERTIFICATES OF OCCUPANCY.
13.

GENERAL CONTRACTOR SHALL INCLUDE THE COST OF ELECTRICAL IMPROVEMENT AND ADDITION IF REQUIRED.
14.

GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE OWNER'S VENDORS ON SITE DURING CONSTRUCTION.
15.

GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR SET-UP AND COORDINATION OF ALL THE UTILITY SERVICES FOR THE PROJECT.
16.

ALL EXTERIOR FLOOR PLAN DIMENSIONS ARE TO EXTERIOR FACE OF MASONRY UNLESS OTHERWISE NOTED. ALL INTERIOR FLOOR PLAN DIMENSIONS ARE TO FACE OF FINISH UNLESS OTHERWISE NOTED.
17.

ALL FIRE PLYWOOD REFERENCES TO BE FIRE-RETARDANT TREATED PLYWOOD, (IF REQUIRED)
18.

ALL PT PLYWOOD REFERENCES TO BE PRESSURE TREATED CDX.
19.

ALL INTERIOR WALL TO HAVE BATTEN INSULATION, MINIMUM 6" ABOVE CEILING. (OPTIONAL)
20.

ALL WALL AND FLOOR FINISHES TO BE CHOSEN BY OWNER.
21.

ALL AIR-CONDITIONED SPACE - 10'-0" CEILING HEIGHT UNLESS OTHERWISE NOTED.
22.

TRAY CEILINGS SHALL BE A MINIMUM OF 12" DEEP WITH EACH TEIR A MINIMUM OF 8" DEEP. SEE TRUSS PROFILE SHEET S-100 AND ROOF FRAMING PLAN, SHEET S-101 FOR MORE DETAILS IF TRAY CEILINGS ARE PART OF THE DESIGN.
23.

THE INSTALLATION OF ALL EXTERIOR COVERING AND PLASTER SHALL BE IN COMPLIANCE WITH ASTM C926, ASTM C1063 AND THE PROVISIONS OF FBC R703.7.1 THRU 703.7.5.
24.

THE INSTALLATION OF ALL EXTERIOR COVERING AND PLASTER OVER FRAME CONSTRUCTION SHALL BE IN COMPLIANCE WITH FLORIDA BUILDING CODE SECTION 1404.2.1 WHERE CEMENT PLASTER (STUCCO) IS TO BE APPLIED TO LATH OVER FRAME CONSTRUCTION, MEASURES SHALL BE TAKEN TO PREVENT BONDING BETWEEN THE CEMENT PLASTER AND THE WATER RESISTIVE BARRIER, A BOND BREAK SHALL BE PROVIDED BETWEEN THE WATER RESISTIVE BARRIER AND THE CEMENT PLASTER (STUCCO) CONSISTING OF ONE OF THE FOLLOWING:

24.1.

TWO LAYERS OF AN APPROVED WATER-RESISTANT BARRIER OR

24.2.

ONE LAYER OF AN APPROVED WATER-RESISTANT BARRIER OVER AN APPROVED PLASTIC HOUSE WRAP. OR

24.3.

OTHER APPROVED METHODS OR MATERIALS APPLIED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
25.

ALL DRAWINGS, COMPUTATIONS, DETAILS, DESIGN CALCULATIONS, ELECTRONIC FILES, 3D SCANS, VIDEOGRAPHY AND OTHER DOCUMENTS THAT RESULT FROM DMD GROUP CONSULTANTS, LLC. (DMD) UNDER THIS PROJECT, ARE AND REMAIN THE PROPERTY OF DMD AS INSTRUMENTS OF SERVICE. REUSE OR MODIFICATION BY THE CLIENT IS PROHIBITED. ANY UNAPPROVED USE OR MODIFICATION SHALL BE AT CLIENTS OR OTHERS SOLE RISK WITHOUT LIABILITY OR LEGAL EXPOSURE TO DMD UNLESS APPROVED IN WRITING. OWNERSHIP OF ALL DOCUMENTS WILL REVERT TO CLIENT UPON FINAL PAYMENT.
26.

NO CHANGES OR ALTERATIONS TO DESIGN OR STRUCTURAL CHARACTERISTICS SHALL BE MADE EXCEPT BY DMD. ANY MODIFICATIONS NEEDED TO PLAN DUE TO CLIENTS CHANGE OF MIND OR ENACTMENT OF NEW CODES SHALL BE CHARGED BASED UPON THE AMOUNT OF SERVICES NEEDED. IF REQUIRED, CLIENTS SHALL RECEIVE WRITTEN NOTICE OF AMOUNT CHARGED FOR MODIFICATIONS TO PLANS AND SHALL BE APPROVED BY CLIENT BEFORE WORK COMMENCES.
27.

CLIENT HEREBY ACKNOWLEDGES THAT DMD CANNOT WARRANT THAT ANY COST ESTIMATES FOR CONSTRUCTION WILL NOT VARY FROM ACTUAL COSTS INCURRED BY THE CLIENT.
28.

IF GENERAL CONTRACTOR PRODUCES VALUE ENGINEERING WHICH WILL SAVE CLIENT MONEY ON THIS PROJECT DURING THE ESTIMATION STAGE OR DURING CONSTRUCTION, THEN GENERAL CONTRACTOR SHALL SUBMIT DESIGN CHANGES TO DMD FOR REVIEW AND APPROVAL. ANY CHANGES ARE CHARGEABLE TO GENERAL CONTRACTOR. SUCH CHARGES WILL BE BASED UPON WORK PERFORMED AND PROVIDED TO GENERAL CONTRACTOR IN WRITING FOR APPROVAL BEFORE SUCH CHANGES ARE STARTED.
29.

IN RECOGNITION OF THE RELATIVE RISKS AND BENEFITS OF THE PROJECT TO BOTH THE CLIENT AND DMD, THE RISKS HAVE BEEN ALLOCATED SUCH THAT THE CLIENT AGREES, TO THE FULLEST EXTENT PERMITTED BY LAW, TO LIMIT THE LIABILITY OF DMD AND ITS SUB CONSULTANTS TO THE CLIENT AND TO ALL CONSTRUCTION CONTRACTORS AND SUBCONTRACTORS ON THE PROJECT ANY AND ALL CLAIMS, LOSSES, COSTS, DAMAGES OF ANY NATURE WHATSOEVER OR CLAIMS EXPENSES FROM ANY CAUSE OF CAUSES, SO THAT THE TOTAL AGGREGATE LIABILITY OF DMD AND ITS SUB CONSULTANTS TO ALL THOSE NAMED SHALL NOT EXCEED THE AMOUNT OF DMD'S FEE FOR THIS PROJECT. THIS LIMITATION SHALL APPLY REGARDLESS OF THE CAUSE OF ACTION OR LEGAL THEORY PLED OR ASSERTED.
30.

THE CLIENT OR DMD MAY TERMINATE THIS PROJECT AT ANY TIME PROVIDED 10 DAYS WRITTEN NOTICE IS ISSUED. IN THE EVENT THAT THE AGREEMENT IS TERMINATED BY THE CLIENT, ALL OUTSTANDING INVOICES SHALL BE PAID WITHIN 30 DAYS. THIS PROJECT MAY ALSO BE TERMINATED BY DMD IF THE WORK DESCRIBED UNDER THE SCOPE OF SERVICES IS DORMANT OR SUSPENDED FOR 6 MONTHS OR MORE. IF PROJECT IS DORMAT FOR 6 MONTHS OR MORE, THEN DMD WILL REQUIRE THAT THE PROJECT BE REVIEWED PER CURRENT BUILDING CODES AND WILL CHARGE ADDITIONAL FEES PER SCOPE OF NEW WORK.
31.

DMD STATES THAT IF BUILDING COMMENTS ARE RECEIVED FROM PERMITTING DEPARTMENT BY THE AUTHORITY HAVING JURISDICTION (AHJ), THEN DMD WILL CORRECT AND RESUBMIT CLIENTS PLANS TO ENSURE THAT PLANS PASS PERMITTING. ANY MEETINGS TO REVIEW PLANS AND/OR CORRECTIONS TO PASS PERMITTING ARE INCLUDED VIA VIDEO TELECONFERENCE, UNLESS SUCH CORRECTIONS REQUESTED IN WRITING BY THE CLIENT ARE DUE TO DESIGN CHANGE OR LOCAL AHJ CODE CHANGES. ANY IN PERSON MEETINGS WITH AHJ ARE CHARGEABLE PER THE SCOPE OF WORK REQUIRED. DMD IS NOT HELD RESPONSIBLE OR LIABLE FOR ANY LOSSES OF ANY KIND BECAUSE OF THE LENGTH OF TIME TO REVIEW OR A CHANGE IN CODES BY THE LOCAL BUILDING DEPARTMENT, HOWEVER, DMD WILL ENSURE THAT COMMENTS FROM THE AHJ WILL BE ANSWERED WITHIN A REASONABLE AMOUNT OF TIME. ONE (1) RESPONSE OF AHJ BUILDING COMMENTS ARE INCLUDED IN THIS PROJECT.
32.

DMD WILL PROVIDE LIMITED CONSTRUCTION SUPPORT FOR PROJECT. GENERAL CONTRACTOR AND SUBCONTRACTORS WILL BE SUPPORTED BY RESPONDING TO REQUEST FOR INFORMATION (RFI). RFI SUPPORT WILL INCLUDE ONLY PHONE CALLS FOR REVIEW OF CONDITIONS ON SITE. ANY ENGINEERED LETTERS, UPDATED CONSTRUCTION DOCUMENTS, AS-BUILT DRAWINGS, AND/OR ON-SITE VISITS SHALL BE BILLED TO THE REQUESTOR AT A REASONABLE RATE PER THE SCOPE OF WORK AND PROVIDED IN WRITING BEFORE WORK STARTS.
33.

FOR ALL RFIS, ANY CORRESPONDENCE SHALL BE FOLLOWED BY A BACKUP EMAIL. REQUEST OF INFORMATION FOR PROPER RECORD KEEPING BY GENERAL CONTRACTOR OR GENERAL CONTRACTOR'S REPRESENTATIVE. IF DMD IS NEEDED TO REVIEW FIELD ISSUES DURING CONSTRUCTION, DMD TEAM WILL REQUIRE ANY NECESSARY PHOTOS OR SKETCHES OF ISSUE TO REVIEW WITH GENERAL CONTRACTOR SENT VIA EMAIL AT SUPPORT@DMDGROUPLLC.COM BEFORE FIELD REVIEW. ANY DELIVERY OR MAILING CHARGES FOR ANY DOCUMENTS TO CLIENT, GENERAL CONTRACTOR, AHJ, OR GENERAL CONTRACTOR SUBCONTRACTORS SHALL BE CHARGED PER LOCAL DELIVERY FEES. ANY ENGINEERED LETTERS OR ON-SITE VISITS SHALL BE CHARGED TO REQUESTOR PER SCOPE OF WORK AND WILL BE INVOICED BY DMD TO REQUESTOR.
34.

THE FOLLOWING IS NOT INCLUDED IN THIS PERMIT SET SUBMITTAL:

• GREEN BUILDING CERTIFICATION SERVICES (E.G. LEED)

• IT IS ASSUMED THAT FIRE PROTECTION "PERFORMANCE SPECIFICATIONS" WILL BE PROVIDED FOR ALL SPACES AND THAT FULL FP DESIGN IS NOT REQUIRED.

• ANY ADDITIONAL AS-BUILT SITE DRAWINGS, AS-BUILT BUILDING DRAWINGS, VALUE ENGINEERED DRAWINGS, TRUSS MANUFACTURER SHOP DRAWINGS, OR STEEL SHOP DRAWINGS REVIEW THAT IS REQUIRED BY OWNER, AHJ, GENERAL CONTRACTOR, SUBCONTRACTOR OR INSPECTOR ARE CHARGEABLE. SUCH CHARGES TO BE DETERMINED BY THE WORK REQUIRED TO PRODUCE THEM AND CLIENT WILL BE NOTIFIED BY DMD IN WRITING WITH AN ADDENDUM PROPOSAL WILL BE SUBMITTED FOR APPROVAL.

• ADDITIONAL DETAILS REQUIRED DUE TO CLIENT CHANGES OR LOCAL BUILDING DEPARTMENT CORRECTIONS AFTER PERMITTING WILL BE CHARGED BASED UPON THE WORK PERFORMED. CLIENT WILL BE NOTIFIED BY DMD IN WRITING IF ADDITIONAL DETAILS ARE NEEDED AND SUBMITTED FOR APPROVAL.
35.

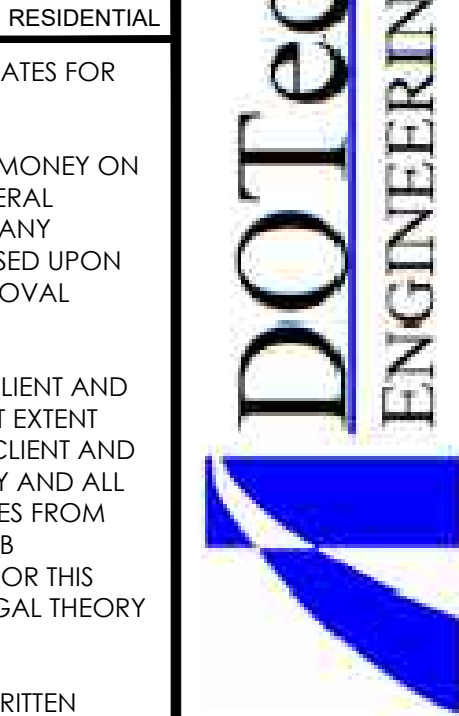
THE SCHEDULE OF THE PROJECT IS NOT GUARANTEED. THE CLIENT UNDERSTANDS THAT FEDERAL, STATE, AND LOCAL GOVERNMENTAL PERMITTING IS REQUIRED AND DMD CANNOT GUARANTEE TIMEFRAMES FOR REVIEW OR APPROVAL OF PROJECT DOCUMENTS. ANY AND ALL SCHEDULE DATES PROVIDED ARE ESTIMATES ONLY. WORK SHALL COMMENCE UPON RECEIPT OF REQUIRED DEPOSIT AS NOTICE TO PROCEED.
36.

THE PROJECT INCLUDES AN ARCHITECTURAL SITE LAYOUT PER PROPERTY SURVEY OR LANDLORD SITE PLAN, ANY ADDITIONAL SITE ENGINEERED DRAINAGE, CIVIL SITE DESIGN/PLANS, LANDSCAPE PLAN, AND PHOTOMETRIC ANALYSIS/PLANS ARE CHARGABLE. SUCH CHARGES TO BE DETERMINED BY THE WORK REQUIRED TO PRODUCE THEM AND CLIENT WILL BE NOTIFIED BY DMD IN WRITING WITH AN ADDENDUM FOR APPROVAL BEFORE ADDITIONAL WORK IS STARTED.
37.

CURRENT ENERGY CODES SHALL BE MET WITH A DESIGN, PLAN LAYOUT, AND ENERGY CALCULATIONS PROVIDED SEPARATELY BY A CERTIFIED MECHANICAL ENGINEER OR DESIGNER ACCORDING TO THE LOCAL AHJ REQUIREMENTS.
38.

THE LOCAL AHJ CONFIRMED THAT THESE CONSTRUCTION DOCUMENTS ARE NOT REQUIRED TO BE SIGNED AND SEALED BY A CERTIFIED ENGINEER. THESE CONSTRUCTION AND PERMITTING PLAN DOCUMENTS SHALL BE SUBMITTED TO THE LOCAL AHJ WITHIN 6-MONTHS OR LESS. IF THIS IS NOT SUBMITTED BY CLIENT OR CLIENT REPRESENTATIVE, THEN CLIENT SHALL BE REQUIRED TO PAY AN ADDITIONAL FEE FOR REVIEW OF CURRENT AND LOCAL CODES. IN ADDITION, IF LOCAL AHJ REQUIRES THAT THESE DOCUMENTS ARE SIGNED AND SEALED BY STATE CERTIFIED ENGINEER, THEN THERE WILL BE AN ADDITIONAL FEE BASED UPON THE SCOPE OF WORK.
39.

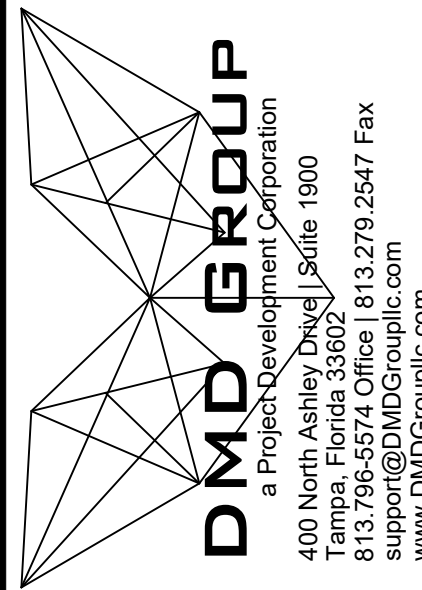
FAILURE TO EXAMINE AND BE FAMILIAR WITH THE DRAWINGS, SPECIFICATIONS, AND/OR EXISTING CONDITIONS SHALL NOT BE USED AS A BASIS OF ADDITIONAL SERVICES. SHOULD ANY DISCREPANCIES OCCUR BETWEEN THE PLANS AND EXISTING CONDITIONS, ARCHITECT AND ENGINEER SHALL BE NOTIFIED PRIOR TO CONSTRUCTION IN WRITING TO DMD GROUP CONSULTANTS LLC AT SUPPORT@DMDGROUPLLC.COM.



Dr. Al Gonzalez P.E. PhD  
12001 S Belcher Road  
St. Petersburg, FL 33737  
ALG@DOTENGINEERING.COM



NO.	REVISIONS	DATE	NO.	REVISIONS	DATE
1.	Project Approval	03/24/2023			
2.	Consultation Plan Design Approval	04/04/2023			
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New EV Charging Station Project for:  
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CONSTRUCTION DOCUMENTS

Job No: 2303125  
Project No: 18200107-EV-HBCY  
Date: 03/24/2023  
Drawn: MK  
Design: DRH

General Notes

N-101

General Notes

SCALE:  
N.T.S

1



- GENERAL NOTES
1.

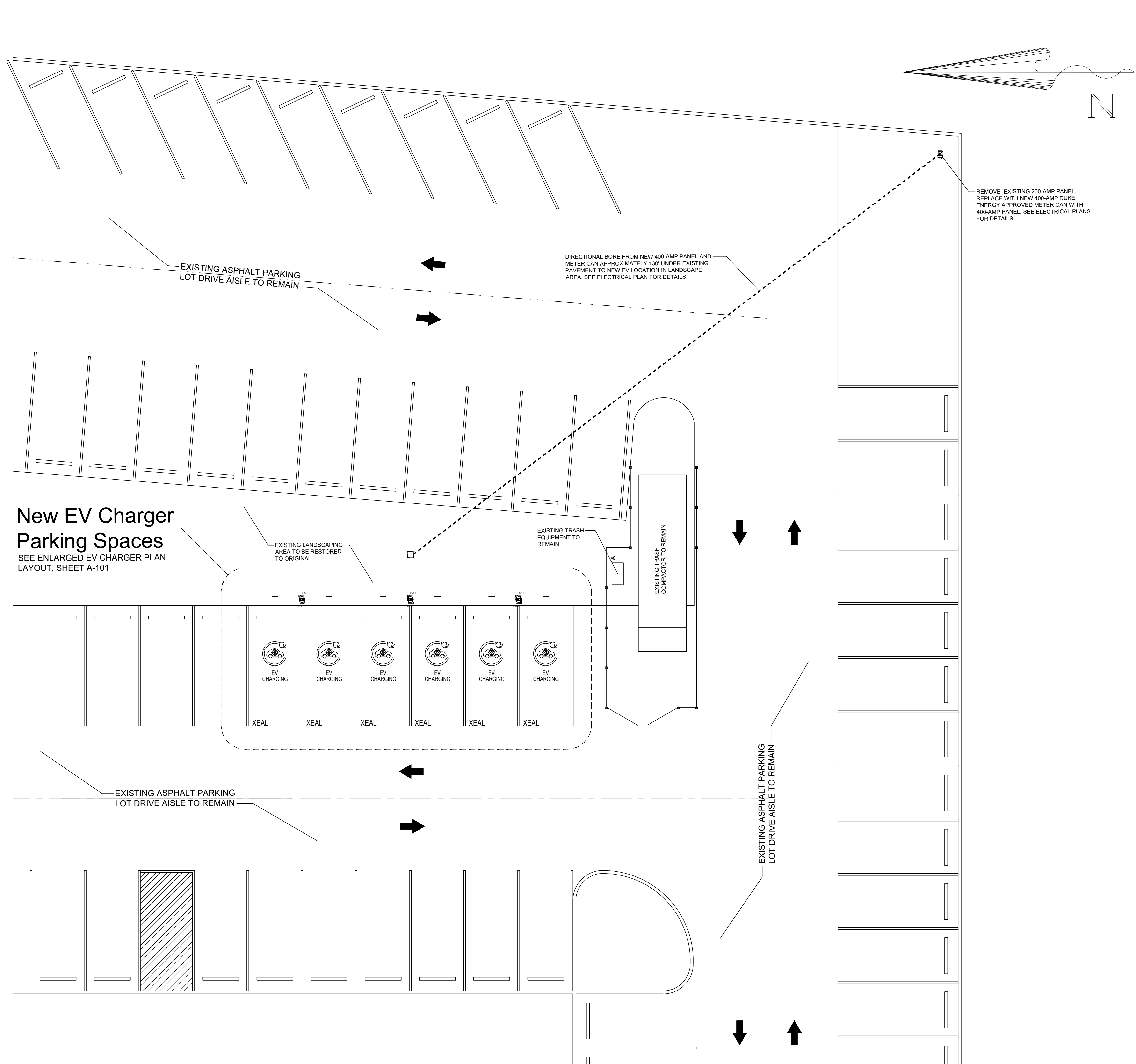
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THE DRAWINGS ARE NOT TO BE SCALED. FOR INFORMATION CONCERNING EXISTING CONDITIONS, ETC., VERIFICATION MUST BE DONE IN THE FIELD. LARGE SCALE DRAWINGS HAVE PRECEDENCE OVER SMALL SCALE DRAWINGS.
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4.

ALL EXTERIOR FOUNDATION PLAN DIMENSIONS ARE TO EXTERIOR FACE OF MASONRY UNLESS OTHERWISE NOTED. ALL INTERIOR FLOOR PLAN DIMENSIONS ARE TO FACE OF FINISH UNLESS OTHERWISE NOTED.
5.

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REMOVE EXISTING 200-AMP PANEL  
REPLACE WITH NEW 400-AMP DUKE  
ENERGY APPROVED METER CAN WITH  
400-AMP PANEL. SEE ELECTRICAL PLANS  
FOR DETAILS.

DIRECTIONAL BORE FROM NEW 400-AMP PANEL AND  
METER CAN APPROXIMATELY 130' UNDER EXISTING  
PAVEMENT TO NEW EV LOCATION IN LANDSCAPE  
AREA. SEE ELECTRICAL PLAN FOR DETAILS.

EXISTING ASPHALT PARKING  
LOT DRIVE AISLE TO REMAIN

New EV Charger  
Parking Spaces  
SEE ENLARGED EV CHARGER PLAN  
LAYOUT, SHEET A-101

EXISTING LANDSCAPING  
AREA TO BE RESTORED  
TO ORIGINAL

EXISTING TRASH  
EQUIPMENT TO  
REMAIN

EXISTING TRASH  
COMPACTOR TO REMAIN

EXISTING ASPHALT PARKING  
LOT DRIVE AISLE TO REMAIN

EXISTING ASPHALT PARKING  
LOT DRIVE AISLE TO REMAIN

Site Plan

SCALE:  
1" = 5.0'

1

C-101

Dr. Al Gonzalez P.E. PhD  
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DMD GROUP  
a Project Development Corporation  
400 North Ashley Drive, Suite 1900  
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support@DMDGroupllc.com  
www.DMDGroupllc.com

xeal  
SMART EV CHARGING  
SOLUTIONS

New EV Charging Station Project for:  
**Palomar Properties**  
**Harbour Cay Apartments**  
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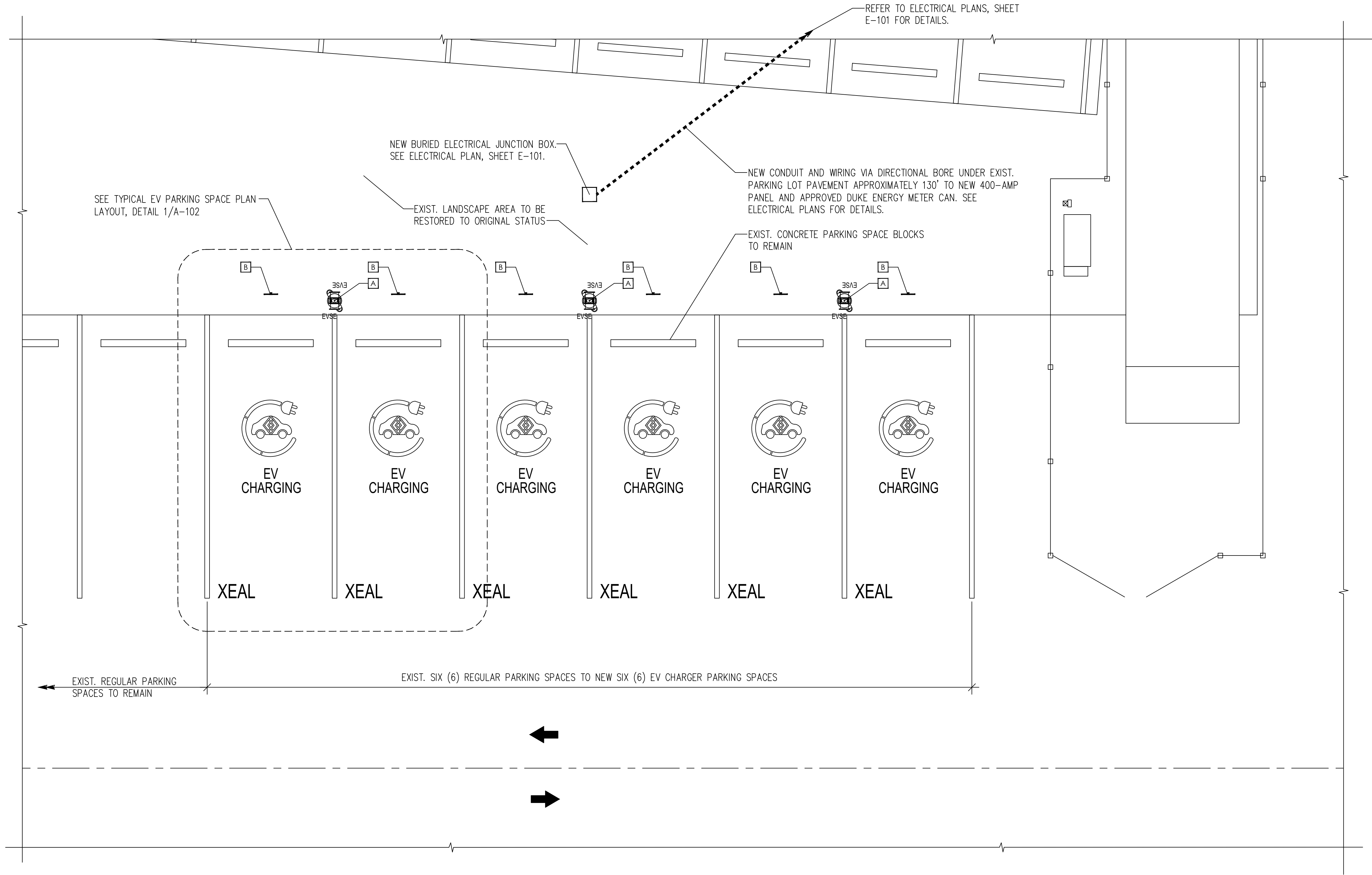
Site Plan

KEY NOTES

- A

NEW XEAL ENERGY WALL MOUNT EV CHARGING STATION  
INSTALLED PER MANUFACTURER SPECS.
- B

INSTALL NEW 8'-0" STEEL "U" SIGN CHANNEL FOR NEW EV CHARGER  
SIGNAGE.



GENERAL NOTES

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- THE DRAWINGS ARE NOT TO BE SCALED. FOR INFORMATION CONCERNING EXISTING CONDITIONS, ETC., VERIFICATION MUST BE DONE IN THE FIELD. LARGE SCALE DRAWINGS HAVE PRECEDENCE OVER SMALL SCALE DRAWINGS.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL BUILDING DIMENSIONS PRIOR TO BEGINNING CONSTRUCTION AND SHALL IMMEDIATELY NOTIFY THE ENGINEER OF RECORD OF ANY VARIANCE AND/OR DISCREPANCIES THRU DMD GROUP CONSULTANTS AT (813) 796-5574 OR EMAIL US AT SUPPORT@DMDGROUPFLLC.COM PRIOR TO PROCEEDING WITH WORK.
- PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION, CONTRACTOR SHALL VERIFY EXISTENCE AND LOCATION OF ALL EXISTING ABOVE AND BELOW GRADE, UTILITIES, INCLUDING SANITARY SEWER, STORM SEWER, WATER, GAS, ELECTRICAL, TELEPHONE, ETC.

Proposed EV Charger Plan Layout - Enlarged

Scale:  
1" = 1'-0

1

A-101

DOTec

ENGINEERING

Dr. A Gonzalez P.E. PhD

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Global Problems. Simple Solutions

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NO.	REVISIONS	DATE	NO.	REVISIONS	DATE
1.	Project Approval	03/24/2023	1.	Project Approval	03/24/2023
2.	Construction Plan Design Approval	04/04/2023	2.	Construction Plan Design Approval	04/04/2023
3.	Construction Plan Bid Set	04/10/2023	3.	Construction Plan Bid Set	04/10/2023
4.	Building Plan Permit Set	04/14/2023	4.	Building Plan Permit Set	04/14/2023
5.			5.		
6.			6.		
7.			7.		
8.			8.		

DMD GROUP

a Project Development Corporation

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xeal

SMART EV CHARGING  
SOLUTIONS

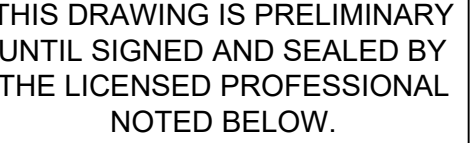
New EV Charging Station Project for:  
**Palomar Properties**  
**Harbour Cay Apartments**  
12001 S Belcher Road  
Largo, Florida 33773  
Pinellas County Building Department  
CONSTRUCTION DOCUMENTS

Job No: 2303125  
Project No: 18200107-EV-HBCY  
Date: 03/24/2023  
Drawn: MK  
Design: DRH

Site Plan -  
Enlarged







PROFESSIONAL SEAL

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THE PROFESSIONAL ENGINEER WAIVES ANY AND ALL RESPONSIBILITY AND LIABILITY FOR PROBLEMS WHICH ARISE FROM FAILURE TO FOLLOW THESE PLANS, SPECIFICATIONS AND DESIGN INTENT THEY CONVEY, OR FOR PROBLEMS WHICH ARISE FROM OTHER'S FAILURE TO OBTAIN AND/OR FOLLOW THE PROFESSIONAL ENGINEER GUIDANCE WITH RESPECT TO ANY ERRORS, OMISSIONS, INCONSISTENCIES, CONTRADICTIONS, OR OMISSIONS WHICH ARE ALLEGED. BUILDINGS TO BE CONSTRUCTED IN FULL CONFORMANCE WITH ALL APPLICABLE CODES AND RESTRICTIONS. PROFESSIONAL ENGINEER TO BE NOTIFIED PRIOR TO CONSTRUCTION IN THE EVENT OF CODE REVISION OR CHANGES.

[illegible]

SHEET NAME:

ELECTRICAL PLAN

DATE: 04-12-2023

PROJECT:  
12001 S. BELCHER RD,  
LARGO FL, 33773

CLIENT: DMD GROUP

SHEET NUMBER:

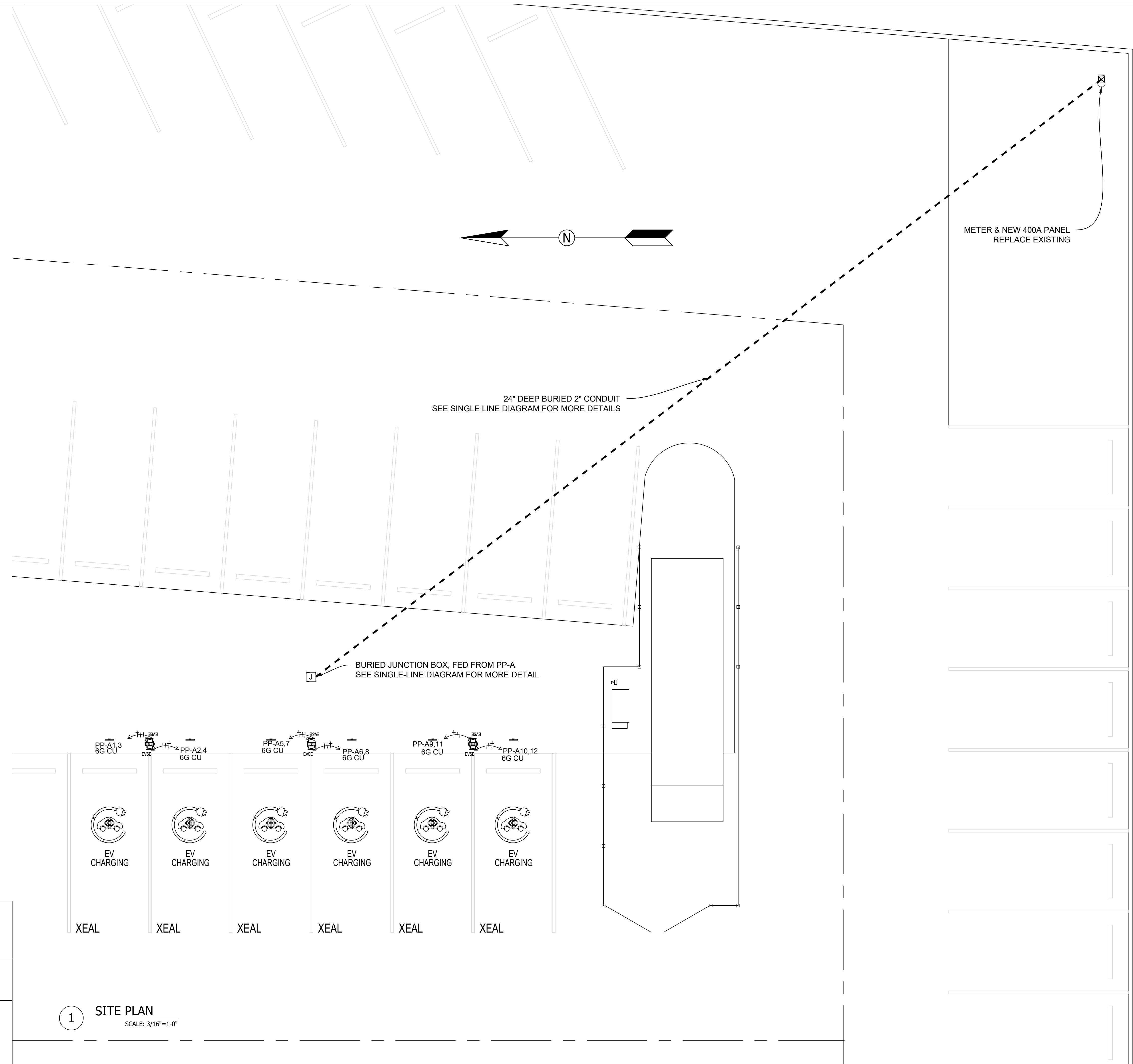
E-101

PROJECT NUMBER: 2303125

DRAWN BY: PV

CHECKED BY: ALG

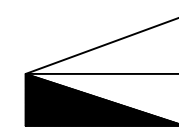
PRELIMINARY DRAWING



## ELECTRICAL LEGEND



## 2 POLE HOME RUN



ELECTRICAL PANEL

1

## SITE PLAN

SCALE: 3/16"=1'-0"



